

Nº2-4

ASHCHURCH GROVE

The modern villa home

ASHCHURCHVILLAS.COM

Ashchurch Villas, London W12 8EB

CONTENTS

02	Welcome
04	Site map
06	The local area
08	Askew Road
10	Brackenbury Village
12	Ravenscourt Park
14	Chiswick
16	Specification and floorplans
26	Ashchurch Grove
40	First Base

ASHCHURCH VILLAS

A contemporary villa collection

A contemporary villa collection which has been designed to evolve with you and your family.

Ashchurch Villas presents fifteen stunning villa homes in Ravenscourt Park, London W12.

Ashchurch Grove invites you to experience three villas, each featuring uniquely designed interiors realised over three storeys of the finest contemporary living.

Four-bedroom villa homes starting from 2,370 sq ft include built-in wardrobes, en-suites, and gated front gardens.

Set back from a quiet, tree-lined street, Ashchurch Grove is a place to appreciate the pleasures of the neighbourhood. Located moments from award-winning Ravenscourt Park, Askew Road and some of the best schools in London, villas feature private front and architectural courtyard back gardens, plus private off-street parking available.

What makes a home is a place that changes with you.

A home to watch the children grow up in. A peaceful sanctuary for two. A secure gated environment to lock up and leave for those whose time is spent in other locations. Ashchurch Grove is above all a showcase of beautiful quality craftsmanship and design.

High ceilings and the feature American oak timber staircase in the entrance hall of each villa lets the light flood in. On the ground floor, Poggenpohl kitchen suites create a bright modern living space in the heart of the home, as integrated Siemens appliances continue in a separate utility room, so white goods never distract from the pleasures of the contemporary kitchen.

Head one floor up to the master reception room, where oversized double American oak doors anchor the space with floor to ceiling windows, and either projecting or Juliet balconies.

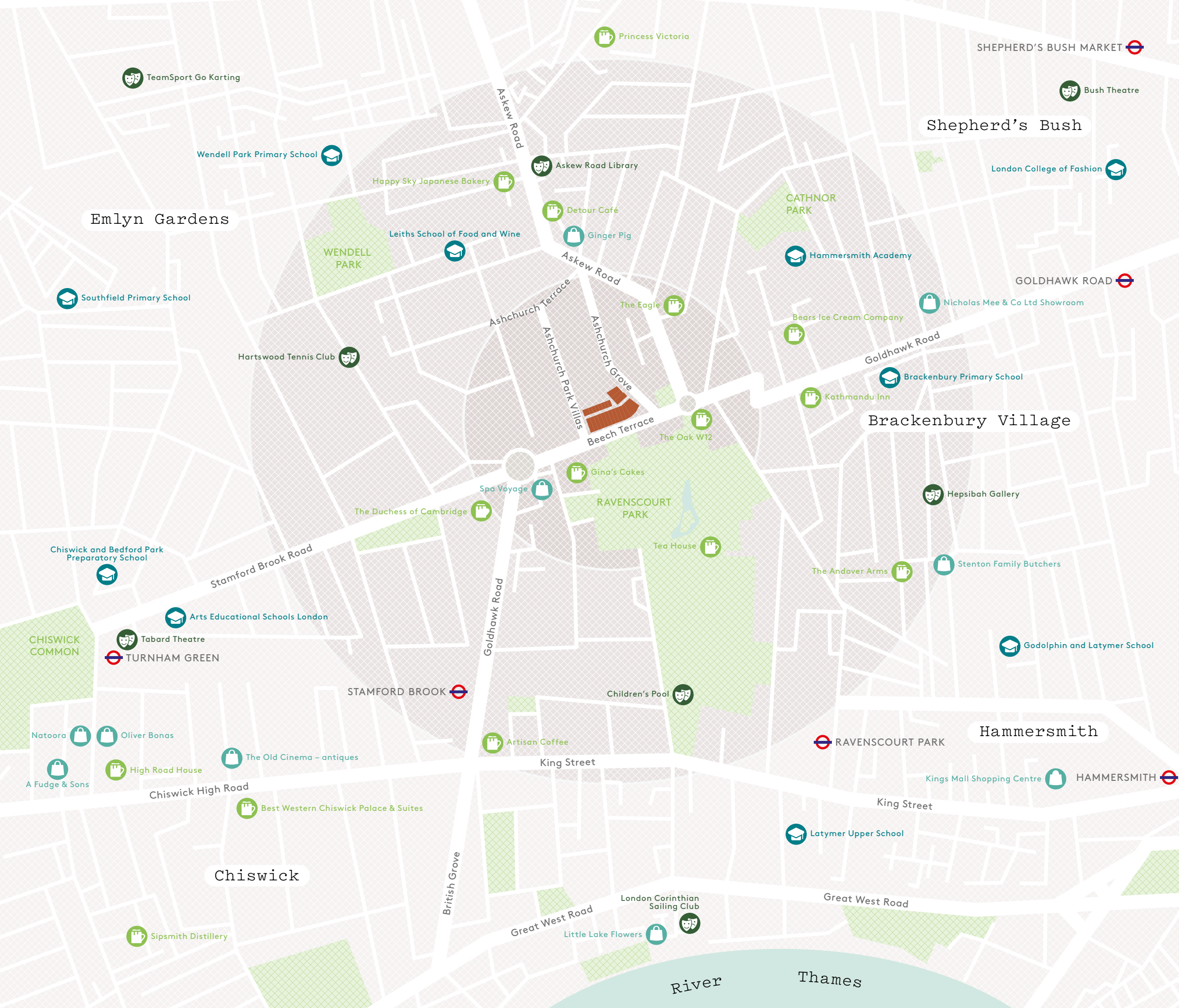
The four bedrooms are as inviting as you would imagine, with bespoke bathrooms designed with freestanding soaking tubs by Royce Morgan Woburn, en-suites and fitted wardrobes, including rooftop views from the upper floors.

BEECH TERRACE

THE PARK VILLA

ASHCHURCH GROVE





THE LOCAL AREA



Welcome to the W12 neighbourhood, where there's everything you need. Flower shops mix with vintage treasures, whilst foodies flock to the gastronomy on offer. Go from great cafés and coffees to treasured family pubs for the Sunday lunch, there's fine dining on the doorstep every day of the week.

From pre-school and preparatory to free schools, Montessori and more, W12 is known for its exceptional education offering. From Wendell Park Primary and Godolphin & Latymer, schooling in the local area comes with top marks.

UNDERGROUND CONNECTIONS

- Stamford Brook 9 mins
- Ravenscourt Park 10 mins
- Goldhawk Road 14 mins
- Turnham Green 14 mins
- Shepherd's Bush Market 18 mins
- Hammersmith 19 mins

PLACES OF INTEREST

- Education and institutes
- Shopping
- Food, drink and hotels
- Sports and entertainment

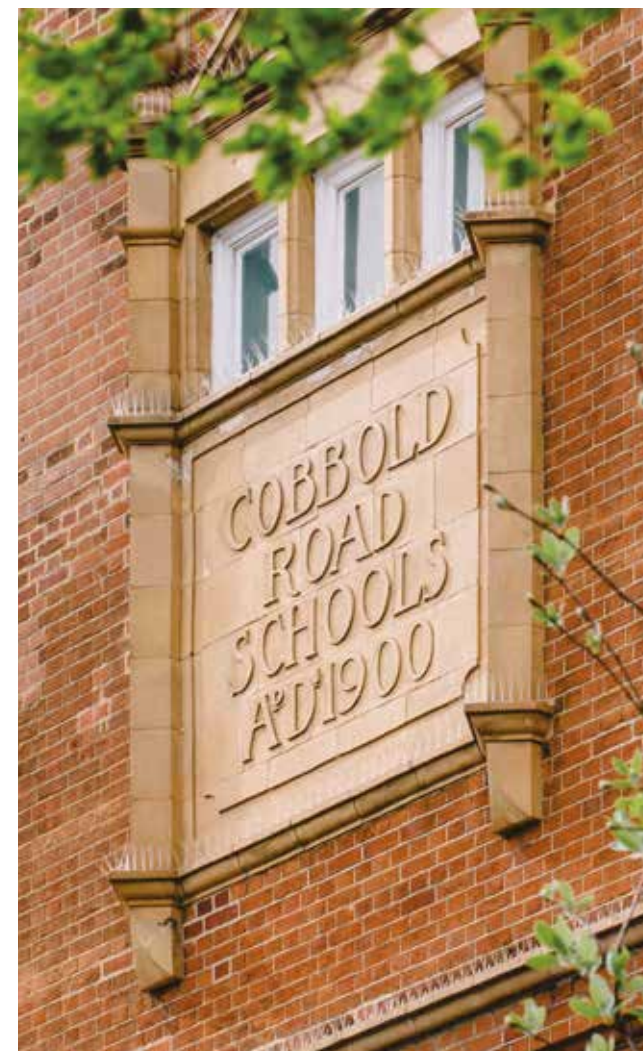
- Ashchurch Villas



ASKEW ROAD

Bustling with independent shops, Askew Road is a foodie's dream. A neighbourhood to satisfy the tastebuds of all the family: prep the best meals thanks to the Ginger Pig right on your doorstep, or dip into the nearest buzzing gastropub.

*This page: The Eagle pub (3 min walk)/Top left: Wendell Park Primary School (11 min walk)
Top right: Ginger Pig (5 min walk)/Bottom left: Detour Café (5 min walk)
Bottom Right: Happy Sky Japanese Bakery (7 min walk)*





BRACKENBURY VILLAGE

Head southeast to the creative hub of Brackenburg Village and find a place to wander. Pick up fresh blooms and artisan Icelandic ice cream - this is the original home of small batch, crafted Sipsmith Gin.

This page: Hepsibah Gallery (13 min walk)/Top left: Bears Ice Cream Company (3 min walk)/Top right: The Oak W12 (3 min walk)/Bottom left: Little Lake Flowers (18 min walk) Bottom Right: Brackenburgs Deli (13 min walk)

RAVENSCOURT PARK

Whether you enjoy the flora or the fauna, the basketball or the bowls, you've got 13-hectares of stunning Royal Park only a stone's throw away (literally).

This page: Bluebells in the setting sun/Top left: Female blackbird amongst the daisies/Top right: Youths playing basketball/Bottom left: 'Reach' wooden sculpture/Bottom Right: Relaxing with a book





HIGH ROAD BRASSERIE



CHISWICK

Venture a little west and you'll find local produce, delicious coffee and shopping in abundance. Pick up a new vintage bike or real vintage sofa – Chiswick has it all from fine dining to alfresco lunches.

*This page: Artisan Coffee (10 min walk)/Top left: Natoora – greengrocers (18 min walk)
Top right: The Old Cinema – antiques (18 min walk)/Bottom left: A Fudge & Sons – bicycles (18 min walk)
Bottom Right: High Road House – club and brasserie (18 min walk)*



Structure
London Yellow Stock brick façade features town ash spotting associated with the original clay materials from the Smeed Dean brickworks.

Timeless limestone cladding to the entrance sequences of the villas.

High quality window frames and balcony doors house double and triple glazed units within robust dark grey aluminium framing. Large full-height bi-fold doors from the kitchen give access to the landscaped garden.

First floor reception spaces showcase floor-to-ceiling glazing to maximise daylight with doors that open up to a projecting or Juliet balcony.



Landscaping
Private, gated, landscaped front gardens.

Architectural contemporary courtyard garden designs facilitate outside-inside living.

Front door
Bespoke Accoya timber front entrance door to villas with top and side lights, fitted with contemporary satin stainless steel ironmongery.



Feature staircase
Feature charcoal American oak timber staircase in the entrance hall of each villa.

Flooring
Kahrs Oak Nouveau Charcoal matt lacquered engineered wood flooring.

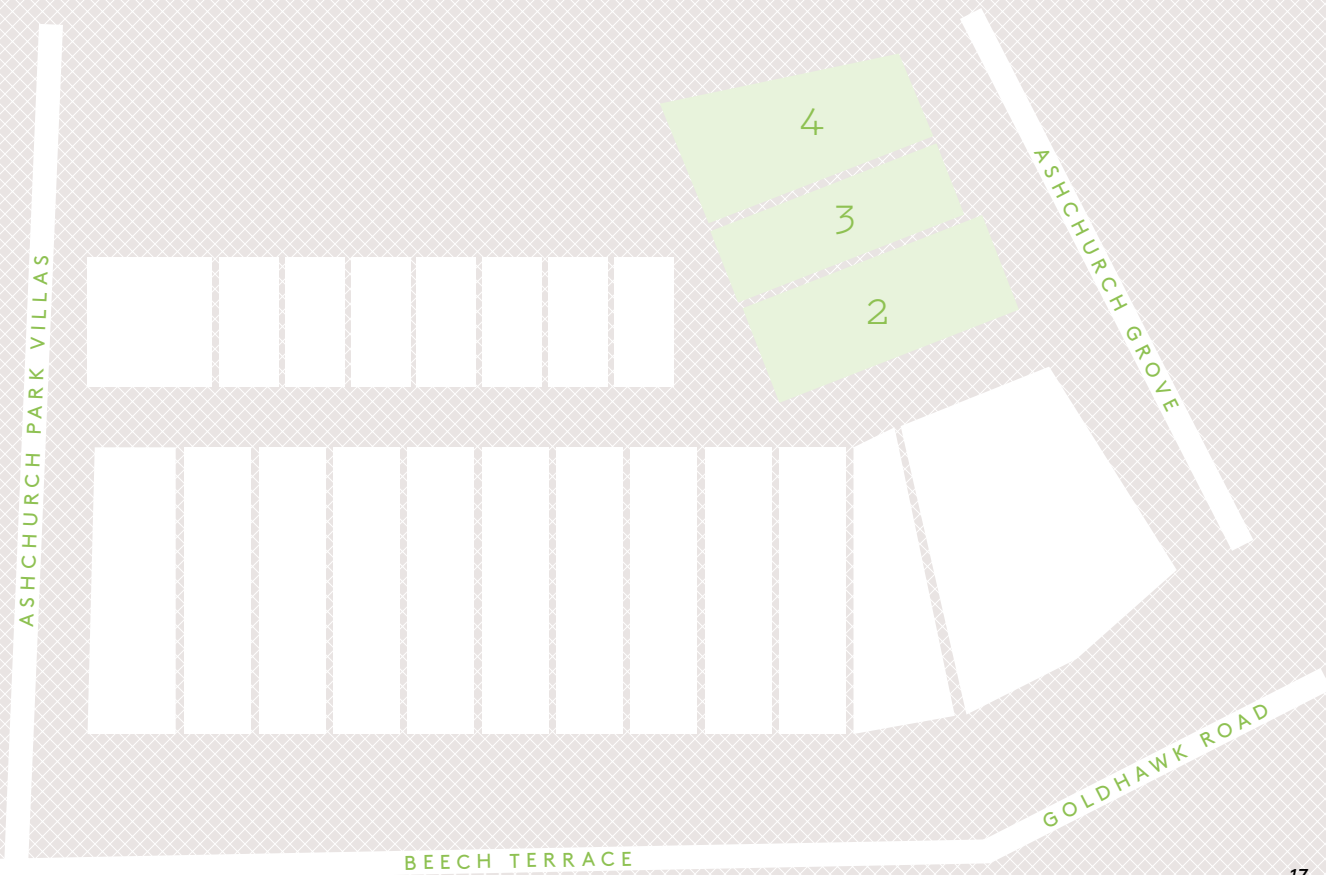
Carpet
Clarendon carpet in Sandcastle.

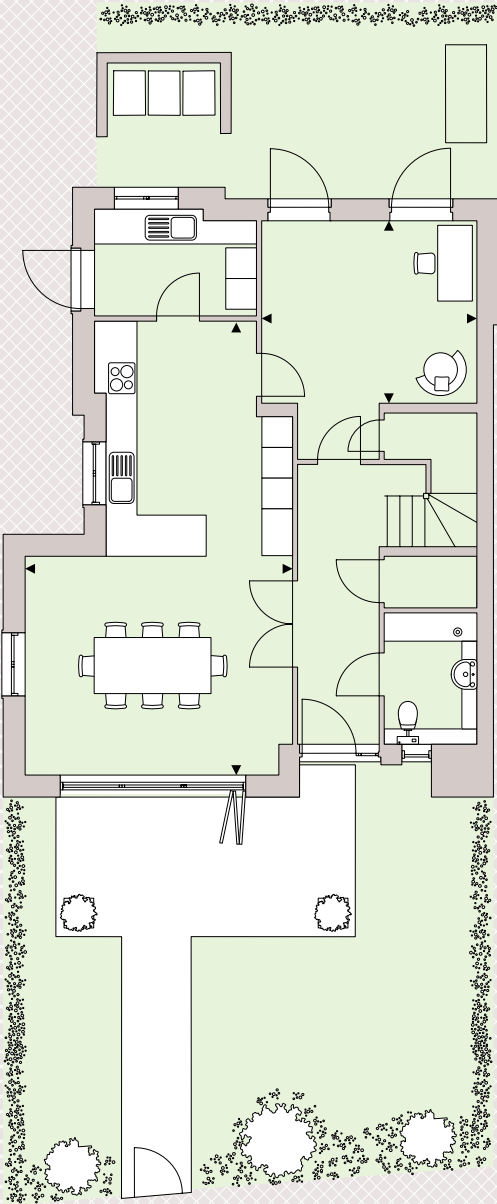
Doors
Distinctive charcoal stained American oak veneer internal doors with painted architrave.

Ironmongery
Satin stainless steel door handles with square section designer levers and discreet magnetic latches.

Floorplans

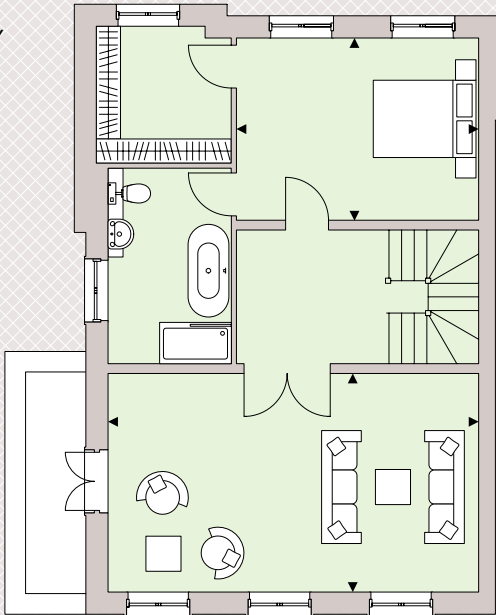
Ashchurch Grove consists of three units, each with its unique style of floorplate.





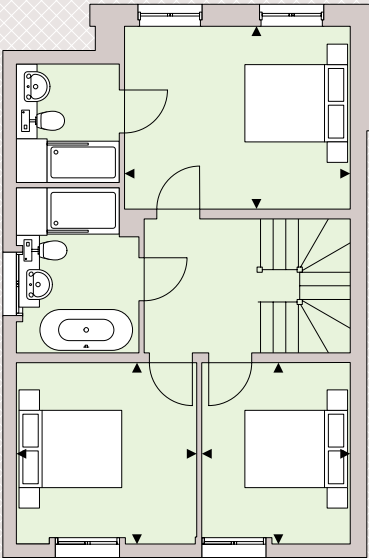
Reception/Study
13.80ft x 12.69ft
4.21m x 3.87m

Kitchen/Dining
28.92ft x 17.15ft
8.82m x 5.23m



Bedroom 1
24.24ft x 11.81ft
7.39m x 3.60m

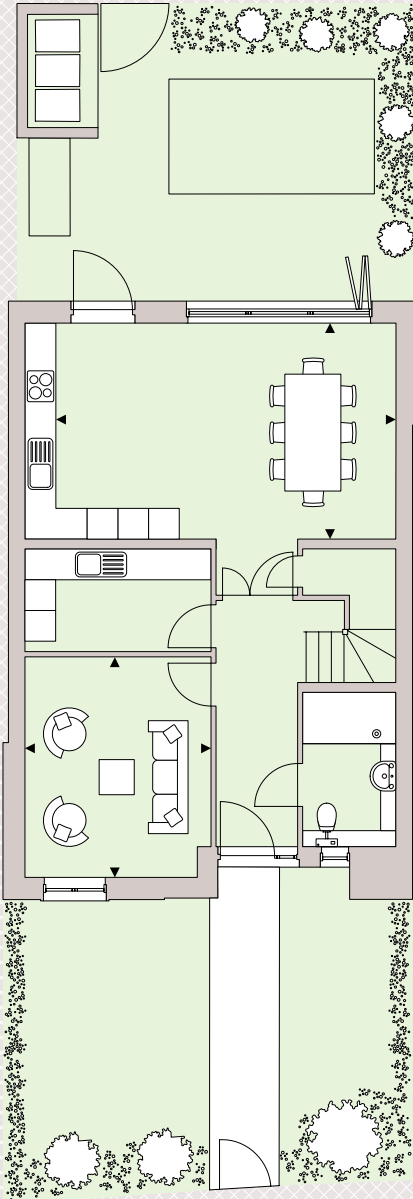
Reception
23.81ft x 14.10ft
7.26m x 4.30m



Bedroom 2
15.45ft x 12.07ft
4.71m x 3.68m

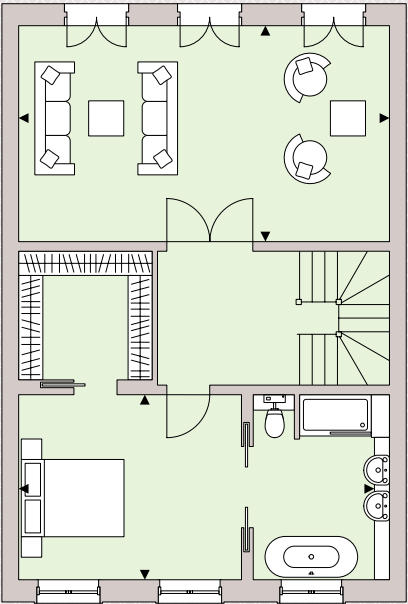
Bedroom 3
11.28ft x 10.82ft
3.44m x 3.30m

Bedroom 4
10.82ft x 9.51ft
3.30m x 2.90m



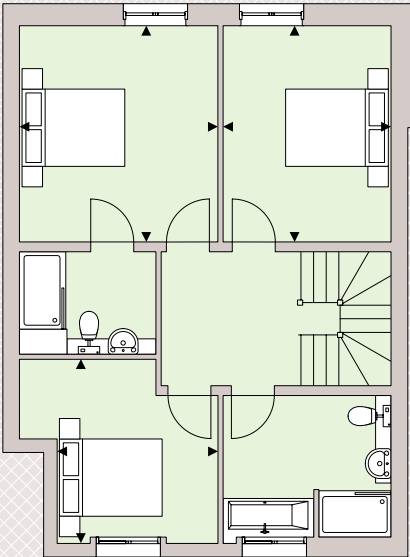
Kitchen/Dining
23.85ft x 13.94ft
7.27m x 4.25m

Reception/Study
14.53ft x 11.94ft
4.43m x 3.64m



Reception
23.81ft x 13.94ft
7.26m x 4.25m

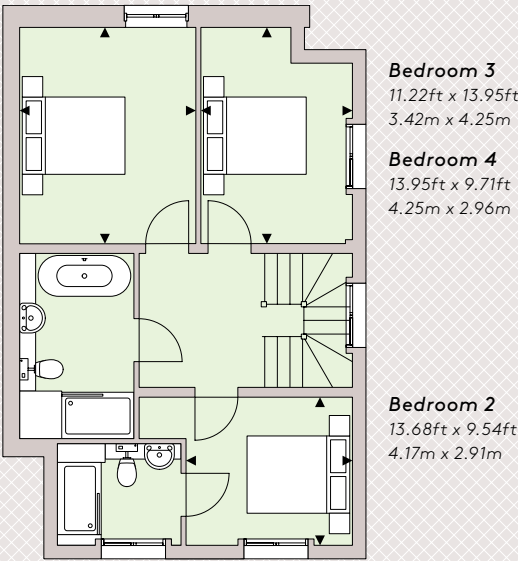
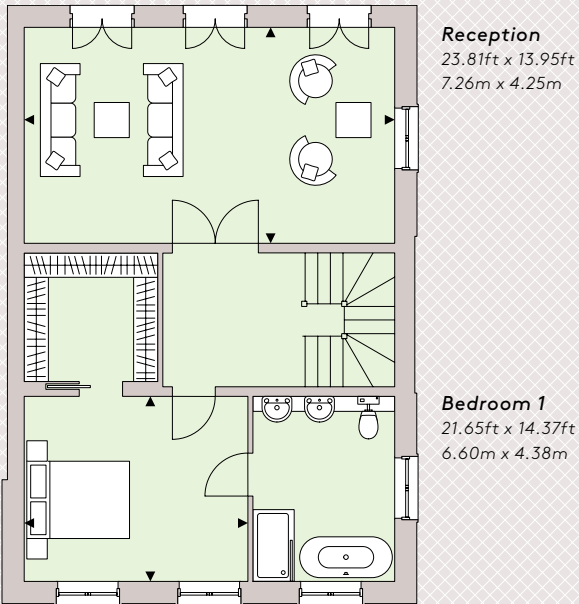
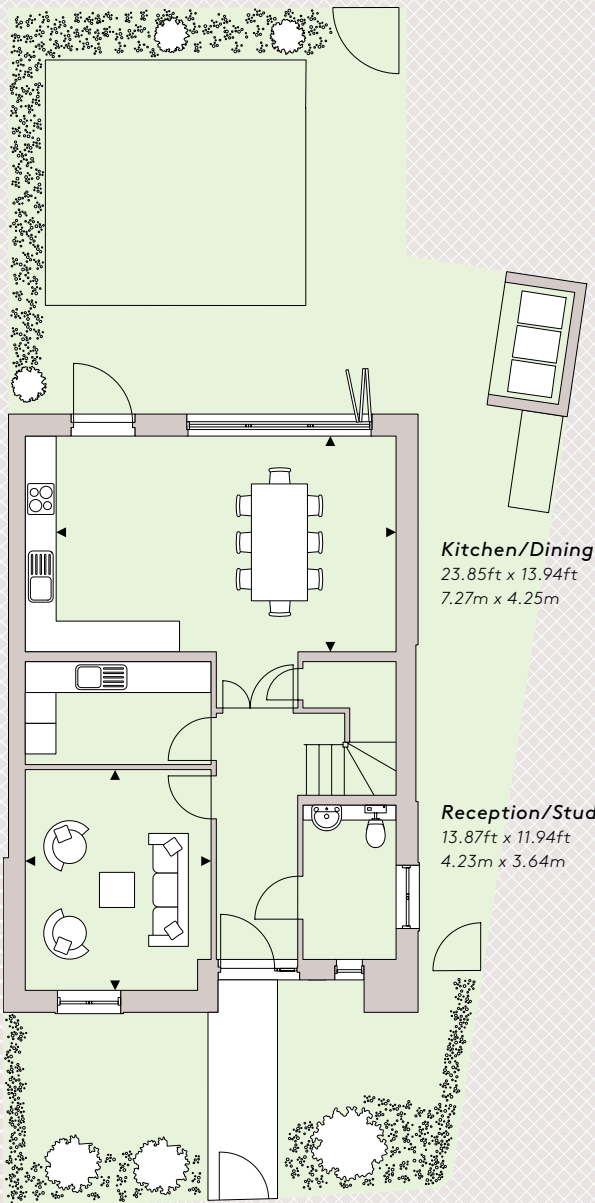
Bedroom 1
26.24ft x 14.30ft
8.00m x 4.36m



Bedroom 2
13.94ft x 12.73ft
4.25m x 3.88m

Bedroom 3
13.94ft x 10.79ft
4.25m x 3.29m

Bedroom 4
11.87ft x 10.92ft
3.62m x 3.33m





Wardrobes

Hand-crafted fitted wardrobes to master bedroom suite in charcoal American oak veneer.

Lighting

Legrand Arteor system fitted throughout the house integrating lighting, heating, data and security. Low energy Orlight LED lighting fixtures installed throughout with multi-control functions and pendants to principal rooms.

Heating

Multi-zone LTHW underfloor heating system to all living rooms, bedrooms, bathrooms and en-suites. Worcester Bosch boilers.



Kitchens

Kitchen suites by Poggenpohl showcase a pure, minimalist style. Clean, uncluttered lines include smooth planes on handle-less cabinets to give a stunning, contemporary feel. A milled recess creates easy open doors and drawers, whilst laser edging finishes this seamless look down to the last detail, for a kitchen that's a pleasure to use.



The kitchen doors are designed in matt white to complement the 20mm Quartz worktops that are both contemporary and durable, with an under-mounted stainless steel sink and beautifully slimline Blanco Plato chrome mixer tap.

Glass splash backs back-painted in grey to suit the material palette.

All kitchens are equipped with a full range of fully coordinated and intelligently designed Siemens appliances. High quality materials come as standard with all Siemens appliances, using stunning designs that seamlessly match the rest of your living space.



Appliances

Siemens induction hob, 90cm, touch slider.

Siemens hot air oven.

Siemens microwave combination oven.

Siemens fully integrated fridge freezer.

Siemens fully integrated dishwasher.

Siemens warming drawer.

Siemens fully integrated wine cooler.

Elica Elibloc built-in under hood.

Utility room

Continuation of Poggenpohl kitchen into a large, separate utility room off the kitchen, housing your Siemens washing machine and separate Siemens dryer.

Siemens washing machine.

Siemens tumble dryer.



Bathrooms

The bathroom suites have been specifically designed for Ashchurch Villas in a bespoke material palette.

Porcelanosa Crema Grecia Classico marble tiling to the floors and walls.

Bespoke square edge Terra Oak Armarii vanity units and matching countertop, and wall-mounted mirrored cabinetry with integrated lighting and shaver socket.

Wall-mounted Archimodule thermostatic basin taps.

Ideal Standard Concept wall-mounted dual flush WC with soft close lid.

Contemporary double-ended freestanding Royce Morgan Woburn bath.



Frameless glass shower screen with Idealrain showerhead.

Kaldewei Conoflat enamel shower tray with flush floor threshold.

Ideal Standard Strada semi-recessed countertop basin.

Chrome dual fuel heated towel rail.

Energy

EPC B rating included.

ASHCHURCH GROVE

A contemporary villa collection designed
to evolve with you and your family.



*Opposite page: Each villa spans three storeys of living space
This page: A peaceful home realised with beautiful materials and flourishing gardens*





COOKING & EATING

Spacious and beautiful, the kitchen is as bright as the garden it looks on to.



*Opposite page: The perfect place for breakfast, lunch and dinner
This page: Reflective white surfaces maximise daylight all year round*

LIVE & LOUNGE

Sit back or host company in this
stylish heart of your new home.



*Opposite page: An impressive space to entertain and unwind
This page: Carefully juxtaposed details are stately and chic*





SLEEP & STYLE

Wake up feeling fresh as a daisy
in the splendour of the master bedroom.



Opposite page: Curtains and throws make for soothing surroundings
This page: Designed for tranquility, the bedroom layout helps you sleep in style

REST & PLAY

These cheerful, bright rooms are flexible spaces to tailor to your needs.



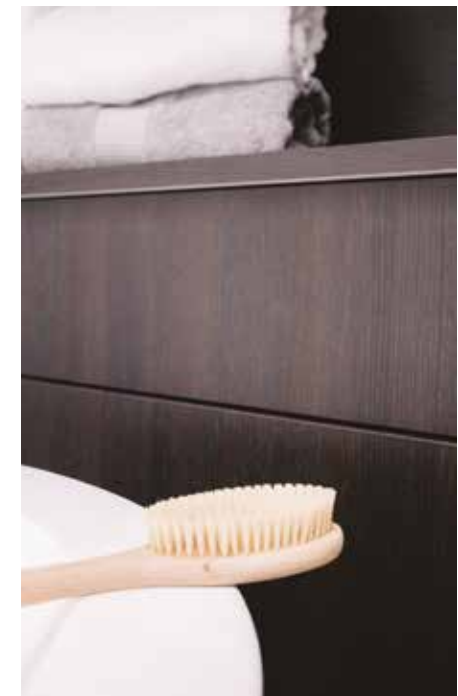
Opposite page: An engaging space for little minds
This page: Equally suitable for toddlers, young adults or contemporary guest rooms





REFRESH & REVIVE

Get up and go, the bathrooms and en-suites make a great start to the day.



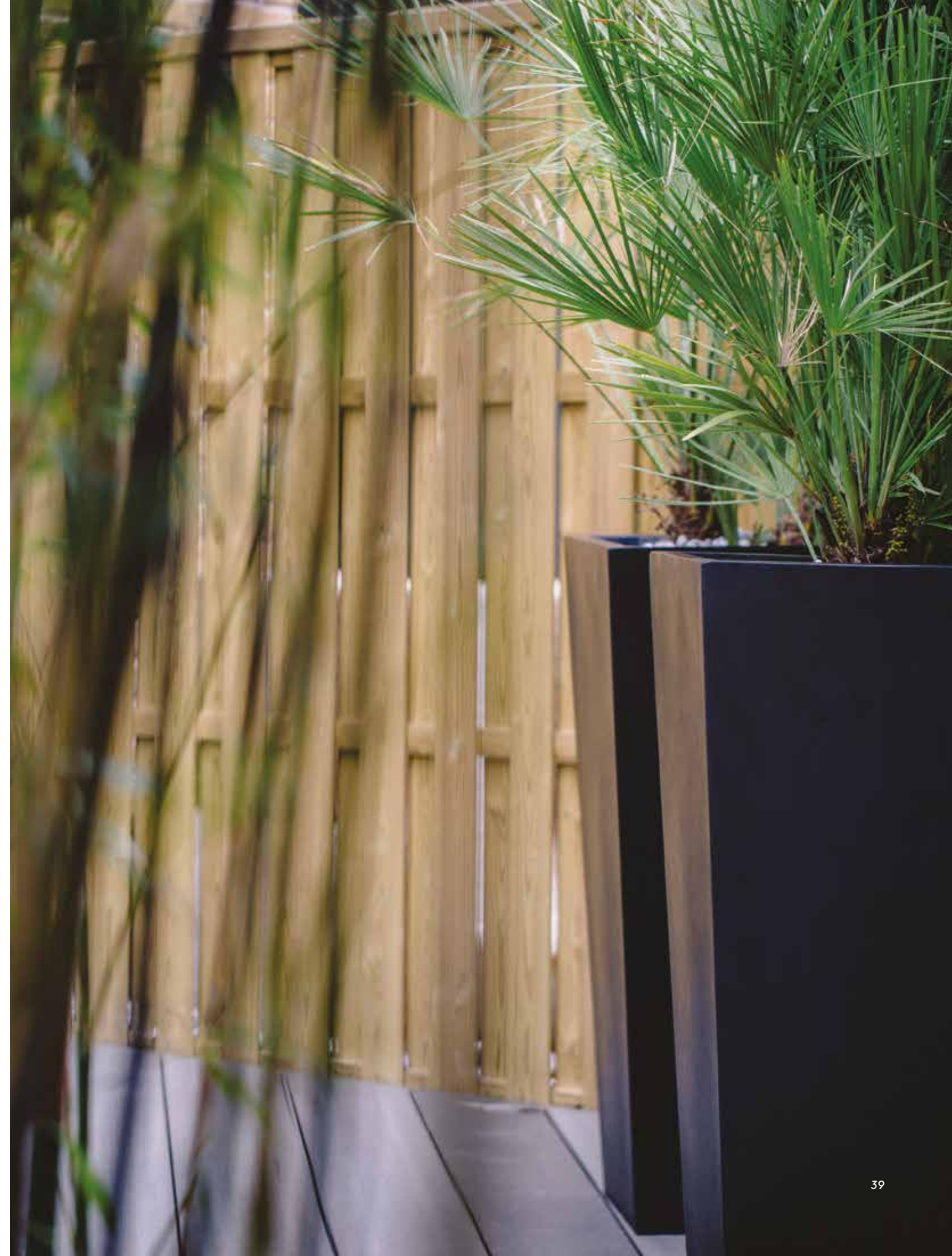
*Opposite page: Dual basins give you more breathing room
This page: Dark wood and light stone create a sense of relaxation*

RELAX & UNWIND

Light and spacious yet private and peaceful, the garden is your sanctuary.



*Opposite page: Space is cleverly utilised so you can entertain or retreat
This page: Island banks make ideal homes for a variety of flora*



First Base has established a reputation for delivering innovative buildings and places that are adaptable to the changing needs of communities and businesses.



East Village is London’s newest neighbourhood on the Olympic Park with iconic new homes that delivered a legacy from the 2012 Games.



Vivo is a vibrant new community in East London with new buildings and new parks for a community of creatives and artists, all drawn to its character and vibe.



Highbury Gardens is traditional London living with a modern feel. Set around a beautiful landscaped garden, the homes celebrate space, giving residents the best of London living.

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