

GREENWAYS

a r c h i t e c t u r a l g u i d e l i n e s



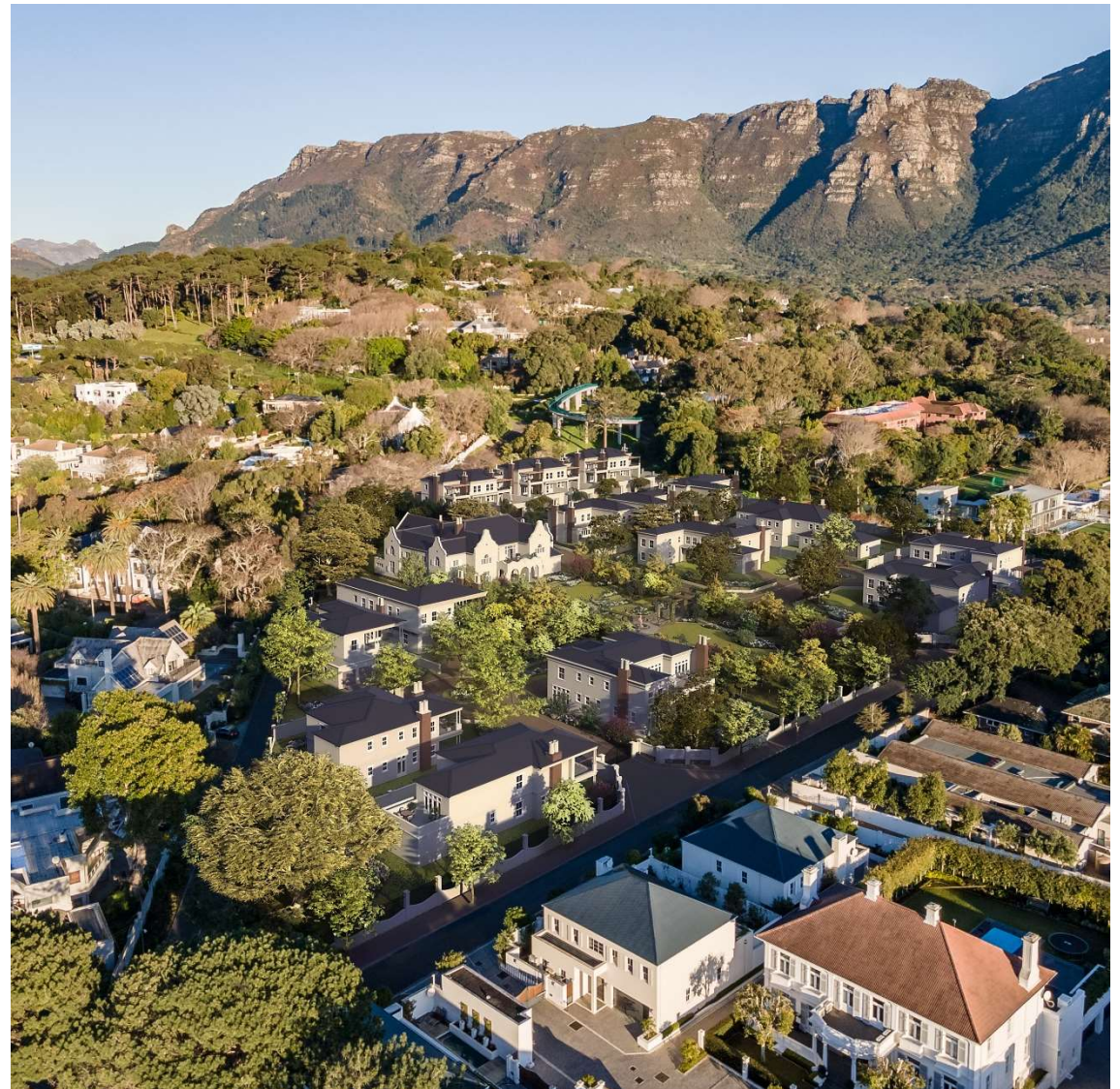
Design Guidelines prepared
for Greenways Estate
Development Company (Pty) Ltd
by Kevin Gadd Architects CC
Revised 12 April 2023



GREENWAYS

architectural guidelines

1. INTRODUCTION
 2. PLAN APPROVAL PROCESS
 3. BUILDING LINES, HEIGHTS AND FLOOR FACTOR
 4. DESIGN OUTLINE
 5. WALLS
 6. ROOFS
 7. DOORS & WINDOWS
 8. EXTERNAL ELEMENTS
 9. BALCONIES & TERRACES
 10. BALUSTRADES
 11. FENCING, WALLING & SCREENS
 12. POOLS
 13. DRIVEWAYS & HARD LANDSCAPING
 14. MATERIALS & COLOURS
 15. SERVICES
 16. GENERAL
 17. PLANTING
- ANNEXURE A, B, C



GREENWAYS

architectural guidelines

1. INTRODUCTION

These design rules are intended to clarify for all homeowners, the design criteria they will have to comply with during their design process and also for any future alterations or extensions at Greenways Estate. These design rules have been developed to protect and maintain the unique environmental and physical attributes of this historic site. As a result the design rules have been developed and derived from a range of historic Cape Georgian vernacular. These are characterized by simplicity, geometric order, harmony, proportion, symmetry and visual continuity against a landscape background of lawned areas and new as well as established wooded surrounds.



GREENWAYS

architectural guidelines

Central to the intentions of the guidelines are:

- High quality architecture.
- Commitment to retaining, enhancing and preserving the current beauty of the natural environment wherever possible.
- Harmonious co-ordination of architecture and landscape.
- Collective consistency towards a secure investment value through considered sensitive contextual Architecture. The guideline constraints are intended to define rather than limit. Initial designs will be prepared by Kevin Gadd Architects CC based on prototype designs and agreed specifications. With the exception of the semi-detached row houses on Portions 8 to 13 inclusive, owners will be able to customize their designs within these guidelines and any future alterations or additions must be prepared by a registered professional architect and must be in accordance with these guidelines and approved by the home owners association. It is not the intention of these guidelines to produce an environment of totally consistent uniformity, rather it is the intention that there is some latitude to create designs of excellence within a set of common constraints.



Categories of Erven

In addition to the sectional title development in the existing manor house and the large portion of landscaped garden area to the North East of it, there are four categories of erven in the development, blue, yellow, red and green. See Annexure A.

Blue Erven: 8-13

These six erven are to be developed as a row of six duplex houses and the designs of these homes are complete. There will be opportunities for owners to effect minor internal changes that do not alter the exterior form or fenestration.

Yellow Erven: 5,6,7

These erven are intended to be developed with houses of approximately 350m² plus garages and owners have the opportunity, to customise the design within the guideline framework.

Red Erven: 1,2,3,4,14,15

These erven are intended to be developed with large homes of some 450m² plus garages and owners have the opportunity, as for the yellow erven, to customise the design within the guideline framework.

Green Erven: 16,17,18

These erven are intended to be developed with large homes of some 350m² plus garages and owners have the opportunity, as for the yellow erven, to customize the design within the guideline framework.



2. PLAN APPROVAL PROCESS

Kevin Gadd Architects CC or such other architects as appointed by the developer, has been appointed as the Estate Architect and is to be engaged in all architectural work on the Estate until completion of all the houses.

The design committee will until the completion of all proposed houses, consist of the Estate Architect and the representatives of the developer, Greenways Development Company (Pty) Ltd.

After the completion of all the houses on the Estate the design committee will consist of a minimum of three persons appointed by the Homeowners Association, one of whom is to be a qualified professional architect. This design committee will deal with any alterations or additions to the completed homes which may be required.

The Greenways Estate Homeowners Association Constitution makes it obligatory upon all owners to obtain the Greenways Manor Estate design committees approval prior to the submission of building plans to local authority and prior to commencement of construction and thereafter, prior to any significant modifications are made to the external appearance of buildings and external features.

The design committee shall at all times balance the overall vision and individual owner's requirements with that of the Estate and reserves thereafter the right to withhold approval if the requirements of the guidelines are not complied with. The HOA reserve the right to make additions and alterations to these Guidelines, which in their opinion, is necessary to assist the Architectural style and character that is envisaged for the entire Estate and the amended guidelines are binding on all homeowners and contractors.

Approval by the design committee does not imply or constitute any authority or structural approval. An amount of R10 000.00, plus VAT, is payable to the appointed design committee architect for scrutiny of building plans submitted for any proposed building alterations.

APPROVAL PROCEDURE FOR FUTURE ALTERATIONS AND ADDITIONS

Homeowners are obliged to appoint a SACAP registered architect (PR ARCH) which appointment must include supervision.

Plans are to be submitted to the design committee for approval prior to submission to the local authority and prior to commencing with any construction work. The restrictions set out in these guidelines are in addition to any restrictions imposed in terms of conditions of title, the town planning scheme and the National Building Regulations.

Stage 1.

The clients appointed architect to arrange a meeting with the design committee to illustrate design concept and general planning principles in sufficient detail to discuss style and treatment of the external design criteria.

Stage 2.

Submission of one hard copy set of drawings that should be of a standard sufficient for council approval and illustrating compliance with all the guidelines as set out in this document.

Should the proposed building work have a material influence on the existing landscape, a set of plans prepared by a landscape architect may be required.

Drawings are required to be submitted to and approved by the Cape Town Municipality (duly endorsed by HOA) prior to the commencement of building works. All local authority scrutiny fees and connection fees are for the account of the home owner.

Prior to commencement of any construction work related to any deviations from the approved plans which externally influence the design updated drawings depicting these changes will be required to be approved by the design committee.

Any unauthorized work will result in a fine of R30 000.00 (Thirty thousand rand) payable by the contractor to the HOA.

In addition to the fine it is compulsory to repair defective work and re-instate the construction work in line with the approved building plans.

Owners are not permitted to occupy houses until a Council and HOA completion certificate has been issued.

Building works must commence within six months of purchase date of property and completed within 18 months from commencement of construction.

All construction companies shall be required to be registered with the NHBRC and to enter into a detailed written agreement – “Greenways: Rules for Contractors” which shall establish all conditions pertinent to the Estate. This shall include the following controls: security protocols, defining the site area, protection of vegetation, provision of on-site ablution facilities and services, transport vehicle restrictions, materials storage and delivery, access times, location of wet works, site cleaning, codes of conduct of staff etc. Should contractors not adhere to the conditions of the signed agreement they may be denied access to the estate until compliance can be assured.

*A checklist of submission requirements will be available from the Estate Architects for sketch plan and final submission.

A building deposit of R20 000.00 (Twenty thousand rand) paid by the Homeowner to the HOA, shall be required at the commencement of any future addition or alteration construction. Of this amount R10 000.00 (Ten thousand rand) will be retained as an infrastructure maintenance levy and the balance returned to the owner upon issue of the completion certificate by the HOA.

2.1 DEVIATIONS

Any requested deviations from the Guidelines will be reviewed on a case by case basis by the Estate Architect along with the Design Review Committee of the HOA and their recommendations will be final. Where the Estate Architect along with the Design Review Committee of the HOA permits variations, these are in respect of specific site conditions and should and will not be considered a permanent amendment to the Guidelines and will not be understood to set precedent. The Design Review Committee of the HOA reserves the right to interpret these Design Guidelines and approve plans/drawings at its discretion. Any deviation must be compliant with the Cape Town Zoning Scheme or it will not be considered.

Members of the Homeowner’s Association shall be required to comply fully with any Annexure of the Homeowners’ Association constitution. The items cover procedures for submission of plans and subdivision and compliance with the environmental contract.

2.2 CONTACT NUMBERS

Estate Architect:
Kevin Gadd Architects CC
Tel: 021 761 0280

3. BUILDING LINES, HEIGHTS AND FLOOR FACTOR

3.1 Building lines

The building lines are as per by the City of Cape Town Municipal Planning Amendment 2019 and are covered in Chapter 5 Part 22 (d)(e)(f) for Single Residential Zoning, subject to the general building line encroachments in item 121.

For portion 5 and 6 (>350 up to 650m²) 3,5m street building line and common buildings line of 0,0m for the first 12,0m measured perpendicular from the street boundary and 0,0m for 60% of total remaining linear distance along all common boundaries around land unit and 3,0m for remainder, subject to paragraph d (iii) of City of Cape Town Municipal Planning Amendment 2019 and are covered in Chapter 5 Part 22.

For portion 7, 14, 16, 17 (>650 up to 1000m²) 3,5m street building line and 3,0m common buildings line. Garages, carports and outbuildings are subject to Cape Town Municipal Planning Amendment 2019 and are covered in Chapter 5 Part 22 (f).

For portion 1, 2, 3, 4, 15, 18 (>1000 up to 2000m²) 4,5m street building line and 3,0m common buildings line. Garages, carports and outbuildings are subject to Cape Town Municipal Planning Amendment 2019 and are covered in Chapter 5 Part 22 (f).

3.2 Heights

The heights of buildings are limited by the City of Cape Town Municipal Planning Amendment 2019 and are covered In Chapter 5 Part 22 (c) (i) (ii) (iii) for Single Residential Zoning.



For portion 5 and 6 (<350 up to 650m²) maximum heights to wallplate 8,0m and top of roof 10,0m.

For portion 7, 14, 16, 17 (<650 up to 1000m²) maximum Heights to wallplate 9,0m and to top of roof 11,0m.

For portion 1, 2, 3, 4, 15, 18 (<1000 up to 2000m²) maximum Heights to wallplate 9,0m and to top of roof 11,0m.

3.3 Floor Factor

For portions 5 and 6 (<350 up to 650m²) a floor factor of 1 applies.

For portion 7, 14, 16, 17 (<650 up to 1000m²) a maximum floor space of 1500m² applies.

For portions 1, 2, 3, 4, 15, 18 (<1000 up to 2000m²) a maximum floor space of 1500m² applies.

Floor space and floor factor are as per City of Cape Town definition.

4. Design Outline

4.1 Form

- 4.1.1 The built form is to be made up of singular and rectilinear formal elements with a main roof. Major forms are to be clearly legible with ordered and rhythmic fenestration symmetrical where possible and vertically aligned, also where possible the clarity of the major form allows for the easy addition of secondary wings or minor forms which can project beneath major roof forms at upper or lower levels.
- 4.1.2 Eaves are to be expressed and can be strengthened with mouldings. Mouldings are also to be used on minor forms such as balconies, parapet walls and porticos. Formal elements such as plinths, chimneys, porticos and conservatories are to be expressed.



GREENWAYS

architectural guidelines

- 4.1.3 The scheme is typified by double pitched, hipped roofed “Georgian” or “Neo Georgian” referenced proportional forms. These are composite rectilinear in nature and articulated with similar orthogonal minor plan elements. All plan forms should be perpendicular to themselves and no obtuse or acute angles will be permitted. Landscape elements are not restricted geometrically.
- 4.1.4 Minimum floor to ceiling heights of 2,8m on the Ground Storey and 2,6m on the First Storey are required to encourage an architectural form with vertical proportions.
- 4.1.5 Secondary flat roofed or lean to structures and balconies, verandahs, pergolas and porticos may augment the major forms and are strongly encouraged.
- 4.1.6 Materials and finishing must adhere strictly to the guidelines.
- 4.1.7 No houses of less than 250m² habitable floor area will be allowed. Basements as defined by City of Cape Town Municipal Planning Amendment 2019 “space in a building between a floor and ceiling, including such floor or ceiling, which protrudes not more than 1,5m above any point on the existing ground level” and conforming to the building line encroachments of clauses 121 and are permitted
- 4.1.8 Outbuildings must reflect the form and geometry of the main house if they are free standing. Their eaves or parapets must be lower than the eaves line of the main house. All linking elements must be lower than the main building eaves line. Outbuilding shall not exceed 30% of the area of the main building.



GREENWAYS

architectural guidelines

4.1.9 Minor plan elements can consist of the following:

- Garaging and servants quarters
- Verandahs
- Balconies
- Porticos
- Pergolas

5. WALLS

5.1 Masonry Walls

External exposed walls not covered by pergolas, verandahs or balconies should be articulated to reduce the visual impact of large expanse of wall

Plaster mouldings are to be used to express windows and door openings as well as optionally used to express plinth lines, eaves, porticos etc. Overly ornate mouldings are to be discouraged.

5.2 Wall finishes

Walls to be painted smooth plaster.

Stone or white washed red brick may be used for plinths.

Red brick with grouting may be used for chimneys and in limited feature areas. A total of 15% of vertical surfaces may be feature areas of red brick.

Vertical plaster mouldings to express corners and as features painted to match the wall colour will be permitted.



6. ROOF FORMS: GENERAL

Roof forms and roof colour play a significant role in establishing a cohesive architectural language and a sense of homogeneity within the development. Roof materials which can be used consist of:

- Diamond metal sheet roofing (Matt/Charcoal)
- Victorian profile metal sheet roofing (Matt/Charcoal)
- Everite slate roofing (Matt/Charcoal)
- Natural slate stone roofing (Black)

6.1 Major Roof Forms:

Major roof forms to be pitched at between 21 and 30 degrees with ridge or apex placed centrally. Smaller minor hipped roofed forms to be pitched between 21 and 30 degrees, also with ridge or apex placed centrally. No gables will be permitted.

6.2 Minor Roof Forms:

Roofs of major forms can be added to with smaller minor form hipped roofs to form more complex composites at a higher or lower level.

Lean to roofs to be pitched at max 5 degrees.

Lean to verandahs are to have a maximum pitch of 5 degrees. They may be constructed of masonry, timber or steel to colours matching the colour palette.

Precast decorative Doric columns are permitted (See Annexure C).

Flat roofs, may be concrete or boarded, finished with brown stone chip, 19mm.

Flat roofs to be concealed by parapets a minimum of 250mm above the roof finish.

Conservatories may have glass roofs but are to be limited in size and well detailed (no "Four Seasons" type conservatories will be permitted).

Pergolas in timber with "Georgian" proportions are permitted.



6.3 Garage Roofs

- 6.3.1 Garage and outbuilding roofs to match the roofs of the house or be screened by parapet walls.
- 6.3.2 Carports to match pergola language. Visible translucent sheeting is not permitted, metal sheeting to match lean-to's and verandahs.

6.4 Roof Windows

- 6.4.1 Velux or similar approved roof window in the plane of the roof will be permitted.
- 6.4.2 Maximum size 780 x 1400mm.
- 6.4.3 Dormers windows with "Georgian proportions will be permitted.

6.5 Eaves

- 6.5.1 Eaves are to be clipped and expressed with mouldings or a maximum of 500mm overhang.

6.6 Gutters

- 6.6.1 Gutters are to be precoated seamless aluminium to match fascia colour and moulding colour.
- 6.6.2 Downpipes are to be round uPVC to match house wall colour or rectangular aluminium.



7. DOORS AND WINDOWS

Doors and windows should be vertical in proportion and incorporate smaller panes.

Symmetry in door and window positions is encouraged with larger windows and doors on the ground floors and shorter windows on the first floors. Large areas of glazing to set back beneath verandahs, balconies or pergolas.

7.1 Window Types

7.1.1 The following window types will be allowed:

- Side hung casements
- Top or bottom hung casements
- Vertical sliding
- Horizontal sliding
- Feature metal windows with Georgian proportions

7.1.2 No profiles to be less than 45mm x 65mm

7.1.3 No winblock type windows allowed.

7.1.4 No reflective glass allowed.

7.1.5 Clerestorey windows are not permitted.

7.2 Glass Standards

Glass standards to conform to the national building regulations and particular attention should be given to SANS 10400 XA. Which deals with the thermal and insulative qualities required of the glazing to structures.

7.3 Burglar Bars

7.3.1 No external burglar bars will be permitted.

7.3.2 No external type “Trellidor” will be permitted.



7.4 Garage Doors

Garage doors to be horizontally slatted aluminium or timber in colour charcoal or white. A single row of glazing in the top panel will be allowed.

7.5 Shutters

7.5.1 Non-functioning shutters will **not** be permitted

7.5.2 Shutters can be timber painted to approved colour, to match colours of house, or aluminium in approved colour.

8. EXTERNAL ELEMENTS

8.1 Retaining Structures

Houses may be stepped or terraced across the site with the use of low retaining structures sympathetic to the natural contours of the site.

8.2 Height of Retaining Structures

Retaining structures may be a maximum of 2m in height from existing ground level.

8.3 Finishes of Retaining Structures

8.3.1 Plastered and painted masonry to match the colours of the house.

8.3.2 Stone or red brick to match house plinth.

8.3.3 Gabion cages filled with natural stone as per materials specification.

8.3.4 Precast Terraforce type retaining structures will not be permitted.



GREENWAYS

architectural guidelines

9. BALCONIES AND TERRACES

- 9.1 The privacy of surrounding properties should be considered at design stage and balconies should avoid directly overlooking the living spaces of adjacent dwellings.
- 9.2 The floor finish of balconies should have muted natural tones. Balcony roofs must be in character with that of the main house and if roofed should be an extension of the major roof form or roofed with pergolas in timber as mentioned in Minor Roof Forms (5.2)

10. BALUSTRADES

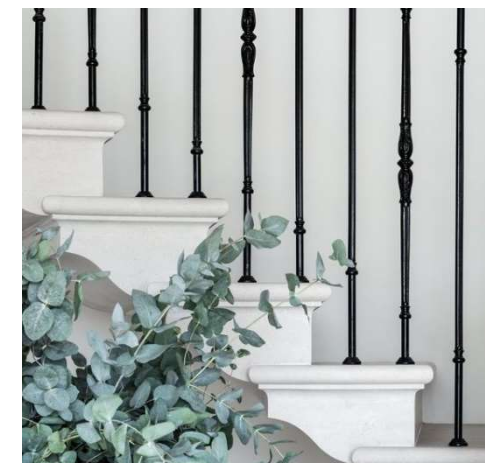
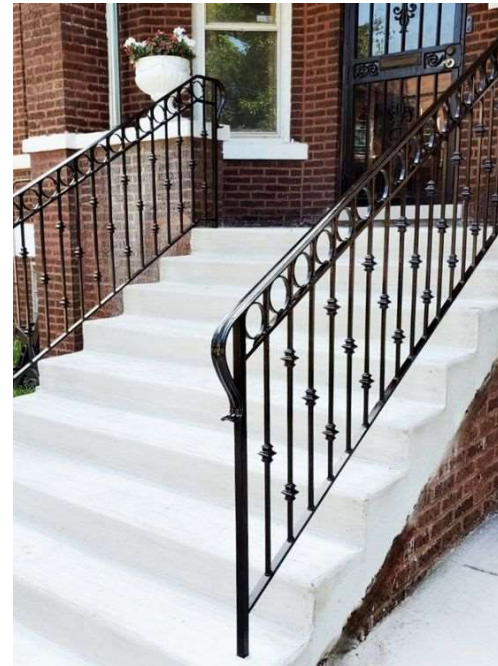
- 10.1 Balustrades should be constructed of light metal elements painted charcoal or white. Timber handrails are permitted,
- 10.2 Balustrades must comply with national building regulations.

11. FENCING, WALLING AND SCREENS

- 11.1 Boundary walls on internal street boundaries should be low plinth walls with palisade as per Annexure B attached specification between piers at a maximum of 1,8m high above natural ground level.
- 11.2 Walls between erven to be plastered masonry walls between 1,8m and 2,1m in height above natural ground level.
- 11.3 No electrified, razor, barbed or mesh fencing will be permitted on individual erven within the Estate.
- 11.4 Laundry or utility yards must be completely walled and screened from view from the street.

12. POOLS

- 12.1 Pool colours are limited to blue, grey and white.
- 12.2 Access to pools is to be secured in terms of national building regulations.
- 12.3 Pool pumps to be in fully enclosed chamber to reduce noise.

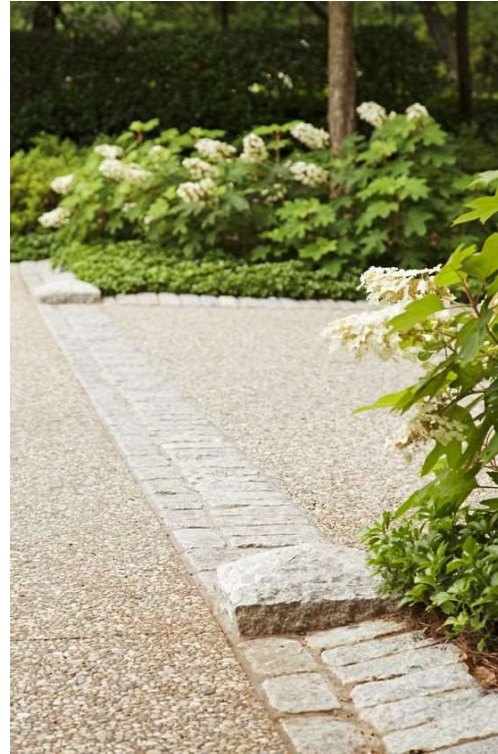


GREENWAYS

a r c h i t e c t u r a l g u i d e l i n e s

13. DRIVEWAYS AND HARD LANDSCAPING

- 13.1 All driveways that are visible from the internal roads shall match the Estates exposed aggregate paved road finish or be seamless exposed aggregate in the same colour as the Estate exposed aggregate paved road finish.
- 13.2 Only one driveway will be permitted per erf.
- 13.3 Where driveways cross the road reserve (sidewalk) area, the owner shall be responsible for the installation of two 110mm diameter sleeves at 600mm under the finished level of the driveway and must extend at least 600mm beyond the edge of the driveway.
- 13.4 Two visitors parking bays must be supplied per erf within the erf boundaries. This is over and above any garages and parking that is required for the owners.
- 13.5 All paving and hard landscaping must be indicated on the site plan and approved by the Estate Architect as part of the local authority submission.



GREENWAYS

architectural guidelines

14. MATERIALS AND COLOURS

Walls

- 14.1.1 Walls to be plastered masonry with limited feature areas of white washed red brick or painted red brick (maximum 15%) of vertical surface area).
- 14.1.2 Natural stone and red brick may be used at plinth level and chimneys.
- 14.1.3 Wall paint to be a low sheen waterproofing pure acrylic (Plascon Wall& All, Midas 240, Dulux Weatherguard) in colour - Midas Steenberg Bone White – 24011/20 (CC30103) Midas Snow Mist (1AW) Midas Almost There (1BW) Dulux City Sensation (75GY81/005) Purest Frost (71YY90/027) White on White (30GY88/014) Plascon Antique Petal (GR-Y05) Orchid Bay (GR-Y06) Mackenzie Ice (A33-1)
- 14.1.4 Moulding to be painted to match wall colour.

14.2 Door and Windows

- 14.2.1 Doors and windows to be aluminium or timber or feature windows in metal. Colour to be white or charcoal/anthracite.
- 14.2.2 Shutters to be functional in aluminium or timber. Colour to be white or charcoal/anthracite.
- 14.2.3 Garage doors to be in timber or aluminium. Colour to be white or charcoal/anthracite.
- 14.2.4 Front doors in solid timber may be feature colour.

14.3 Pergolas

Timber pergolas are to be constructed in garapa, massaranduba, balau or similar approved hardwood and retained natural or painted white.

14.4 Roofs

- 14.4.1. Roofs can be:
 - Diamondek metal sheet roofing (Matt/Charcoal)
 - Victorian profile metal sheet roofing (Matt/Charcoal)
 - Everite slate roofing (Matt/Charcoal)
 - Natural slate stone roofing (Black)
- 14.4.2. Flat roofs to be finished with brown stone chip.
- 14.4.3. Fascias and gutter and downpipes to match house wall colour.



15. SERVICES

15.1 Rainwater

- 15.1.1 Fully underground 5KL water tanks may be installed to receive water from the roof for the use in garden irrigation.
- 15.1.2 Storm water runoff is to be carefully controlled to avoid soil erosion and storm water reticulation is to be indicated on the building plans submitted. Below ground storm water reticulation is preferred. Precast concrete channels will not be permitted.
- 15.1.3 Storm water from each erf to be dispersed to storm water connection provided at each erf boundary for dispersal to Estate retention ponds.

15.2 Plumbing

- 15.2.1 All drainage pipes except for low level stub stacks are to be concealed within the walls or structure.
- 15.2.2 All plumbing fittings, sanitary ware and brassware used in the house are to be water wise.
- 15.2.3 The use of grey water systems is encouraged.
- 15.2.4 All shower heads must be fitted with water saving devices, i.e. low flow shower heads, tap aerators and/or flow restrictors must be installed on all taps.



within courtyards or behind screening walls.

15.3 Air Conditioners

- 15.3.1 Air-conditioning condenser units are to be installed at ground level and screened behind a wall at least 1.2m high.
- 15.3.2 No window mounted units are permitted.
- 15.3.3 Houses to be effectively insulated so as to reduce the need for air-conditioning as much as possible.
- 15.3.4 All air-conditioner piping to be concealed within the house structure. No surface mounted pipes or ducting will be allowed.

15.4 Satellite Dishes and Aerials

A satellite dish at the Guardhouse will provide satellite connectivity for the estate. It is preferred that individual houses connect to this satellite dish. Satellite dishes on individual erven will be allowed if they are the same colour as the house walls and discreetly placed. Final position to be subject to Estate Architect approval.

15.5 Lighting

- 15.5.1 Under no circumstances will security/flood lighting be allowed.
- 15.5.2. External lighting should be traditional in style and should be unobtrusive and not be a nuisance to neighbors.
- 15.5.3 No coloured lighting will be allowed.

15.6 Laundry and Refuse Areas

All drying yards and refuse storage areas to be concealed



GREENWAYS

architectural guidelines

15.7 Signage, Lettering and Numbering

- 15.7.1 No illuminated signage permitted.
- 15.7.2 Lettering or numbering to be a maximum of 150mm high.
- 15.7.3 Type face to match that of the Estate.

15.8 Alternative Power/Solar

- 15.8.1. Solar panels are to be positioned as discreetly as possible.
- 15.8.2. No closed coupled HWC cylinder units may be installed on roofs. All HWC must be concealed within the roof space.
- 15.8.3. Swimming pool panels may only be installed on flat concrete roofs concealed by parapets or on lean-to roofs.
- 15.8.4. All pipework from solar panels is to be concealed and go directly into roof space.
- 15.8.5 No generators will be permitted.



16 GENERAL

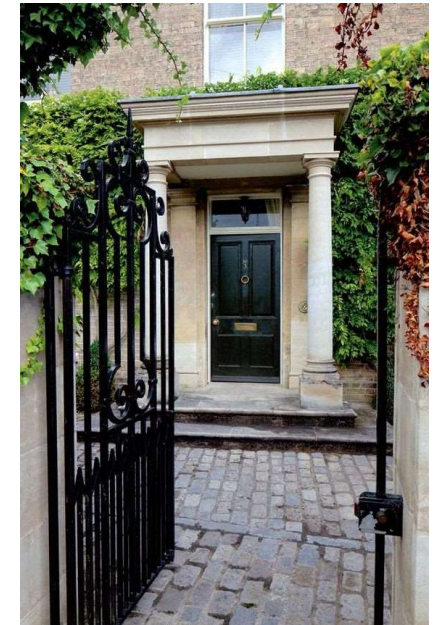
All unsightly objects i.e. dust bins, refuse containers, washing lines & storage areas, pets' accommodation, kennels, water tanks, commercial type vehicles, boats or caravans or trailers must not be visible from internal roads.

Refuse bins are to be housed in areas that ensure they are not visible from anywhere outside the individual erf. These areas/structures must comply with the design guidelines, must be integrated into the design of the house (not separate structures on the street) and must not detract from the aesthetics of the house.

Boats can only be kept on erven if they are stored in closed and roofed garages and thus not visible from anywhere on the erf or surrounds. No 'afdak' (canopies) or similar structures are allowed for boats. The boat garage will have to form part of the building footprint.

'Wendy houses' or garden sheds will not be permitted.

Braai areas shall be designed as part of the house.



17 PLANTING

The Cape is prone to long periods with no or variable rainfall and the Estate is committed to the conservation and wise use of water resources.

Additionally South Africa has promulgated Regulations in terms of the Conservation of Agricultural Resources Act (CARA). The schedules to this Act set out plants not permitted on private land. Failure to remove such plants is an offence and landowners are liable to prosecution. It is in the interests of the Estate to abide by this Act.

Your initial garden will be designed in consultation with the appointed Estate Landscape Architect who will recommend and guide you in your choices. The surrounding nurseries will also be able to assist with finalising the plant material.

Private Home Gardens

The use of water wise indigenous plants suited to local climate conditions is encouraged but non indigenous plants are permitted.

Plant list

Acer palmatum	Japanese Maple
Afrocarpus falcatus (syn. Podocarpus)	Yellowwood tree
Afrocarpus henkelli (syn. Podocarpus)	Henkels yellowwood
Afrocarpus latifolius (syn. Podocarpus)	Real yellowwood
Aloidendron barberae (syn Aloe)	Tree aloe
Arbutus unedo	Strawberry tree
Betula pendula	Silver birch
Brachychiton acerifolius	Flame tree
Caesalpinia ferrea	Leopard tree
Calodendron capensis	Cape chestnut
Caraya illinoensis	Pecan nut
Cassine piragua	Cape saffron
Citrus limon Eureka	Eureka lemon
Ceretonia siliqua	Carob tree
Curtisiia dentata	Assegai
Cunonia capensis	Red alder
Dias cotinifolia	Pompon tree
Diospyros whyteana	Bladdernut
Dombeya rotundifolia	Wild pear
Ekebergia capensis	Cape ash
Erythrina caffra	Coral tree
Fagus sylvatica	Beech
Halleria lucida	Tree fuschia
Harpehylum cafrum	Wild plum
Ilex mitis	Cape holly
Jacaranda mimosifolia	Jacaranda
Kigelia Africana	Sausage tree
Kiggelaria Africana	Wild Peach
Laurus nobiTis	Bay laurel
Liquidamber stryaciflua	Liquidamber
Macadamia Beaumont	Macadamia nut
Magnolia grandiflora	Southern magnolia
Magnolia x soulangiana	Saucer magnolia

GREENWAYS

a r c h i t e c t u r a l g u i d e l i n e s

Nuxia floribunda	Forest elder
Olea europeana varieties	Olive tree
Olea europeana subsp. Africana	Wild Olive
Persea Americana	Avocado tree
Prunus laurocarrassus	Cherry Laurel
Quercus cerrís	Turkey oak
Quercus palustris	Pin oak
Quercus suber	Cork oak
Quercus nigra	Water oak
Sparmania Africana	Cape hemp
Spathodea campanulata	African flame
Syzygium cordatum	Water berry
Syzygium guineense	Water pear
Syzygium jambos	Rose apple
Tríchelia emitica	Natal mahogany
Ulmus spp	Elm Tree

Road verges

No lawn may be planted on the Estate road verges.

Servitude planting of the verges, inclusive of trees, is encouraged but the planting of trees with an aggressive root system is not permitted.

If gravel stone is to be used it must be 19mm in size and brown in colour.

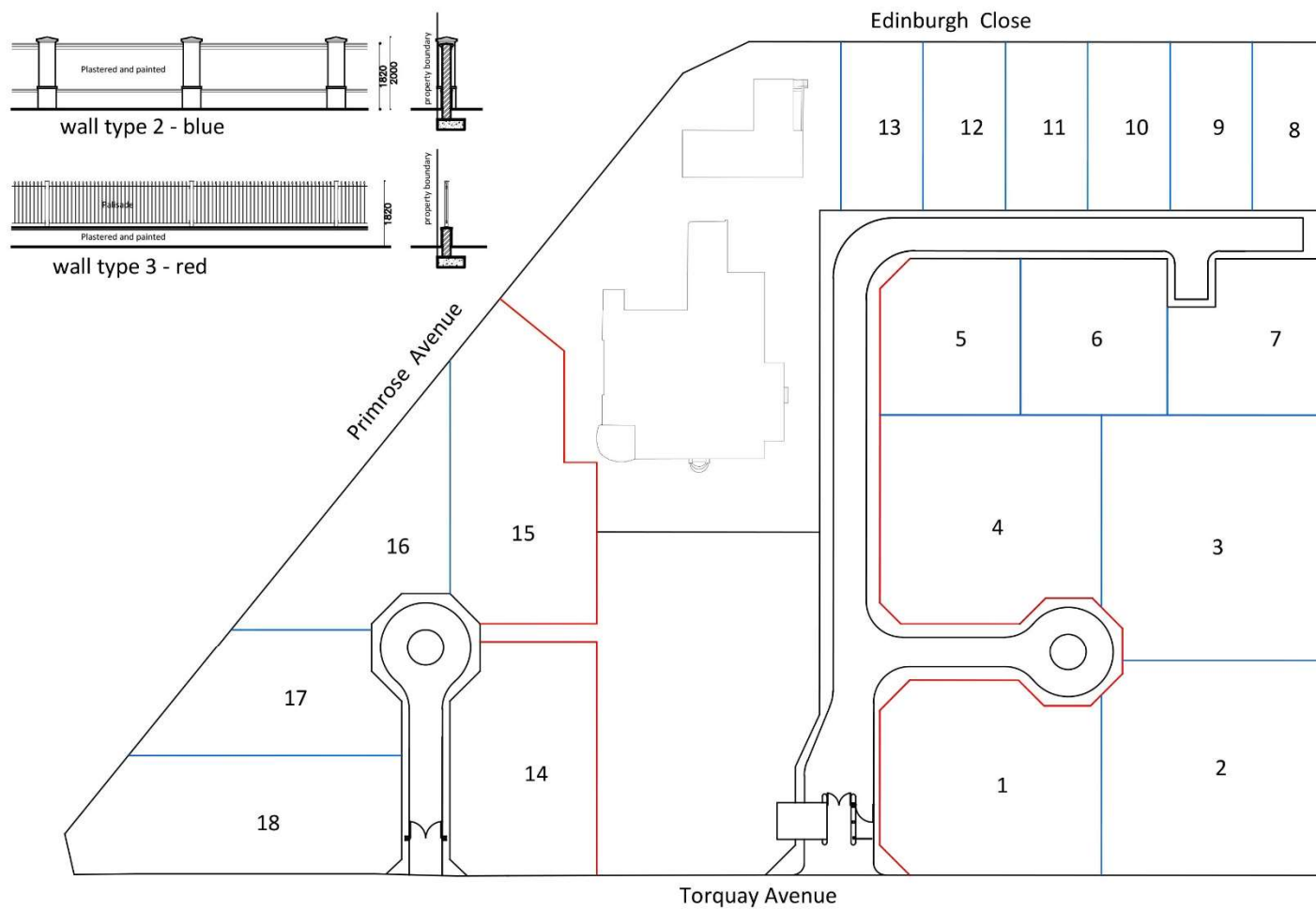
Water Management

The installation of an irrigation system and borehole is encouraged. The Estate will install borehole/s for the communal areas.

Annexure A. Estate Layout Diagram



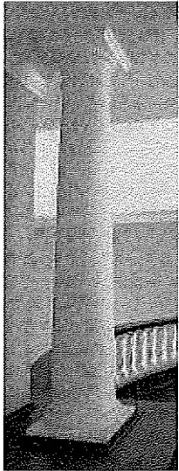
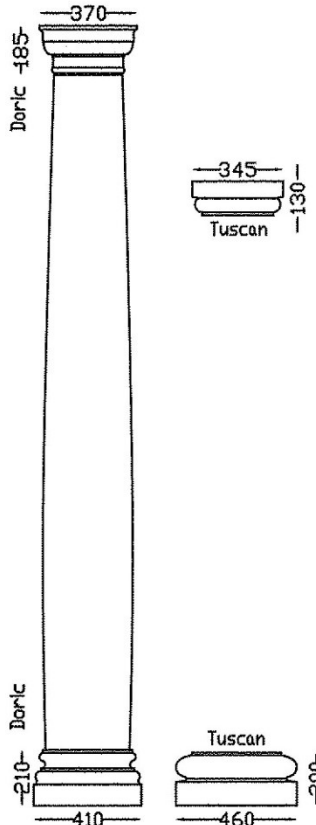
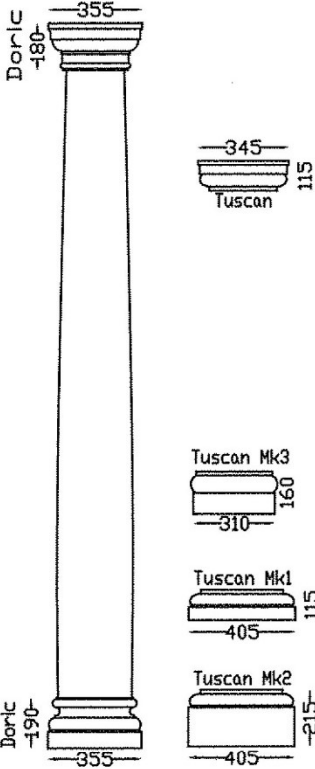
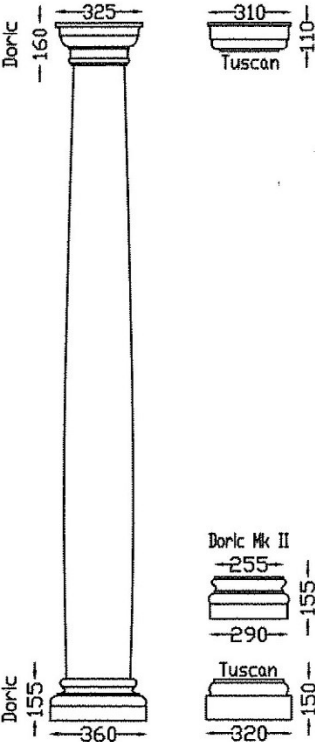
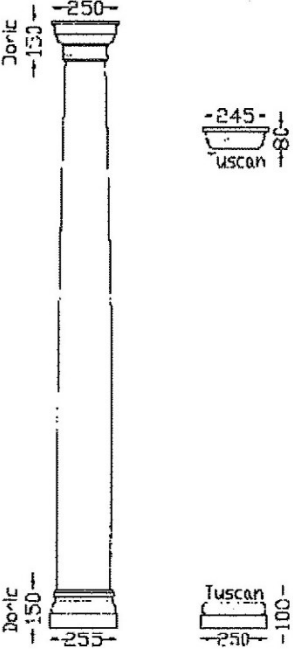
Annexure B. Boundary Walls



Annexure C. Column Types

Columns - Plain Round Tapered

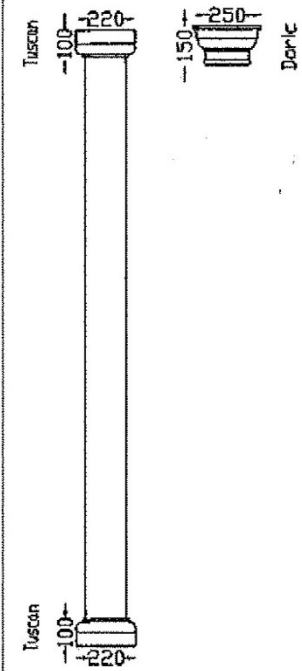
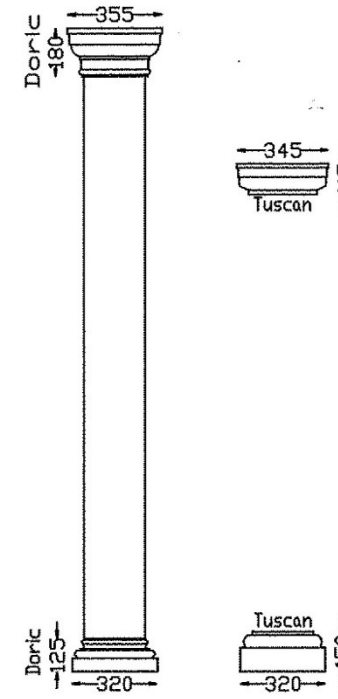
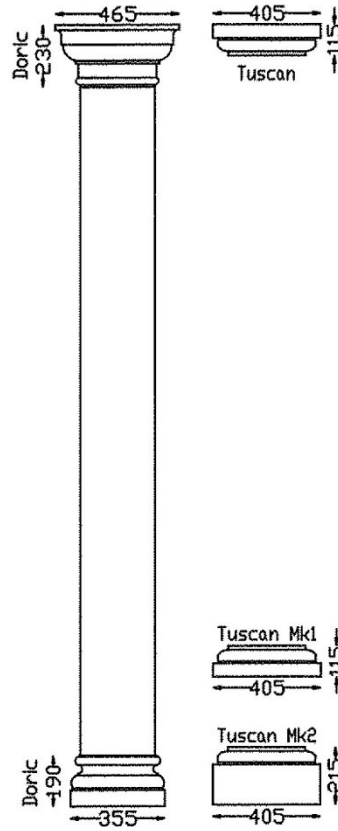
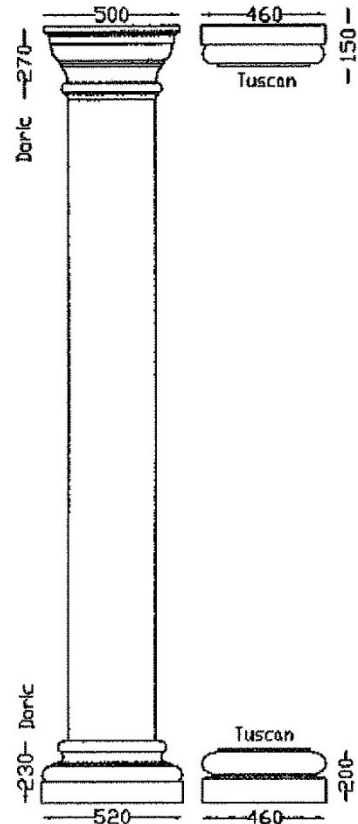
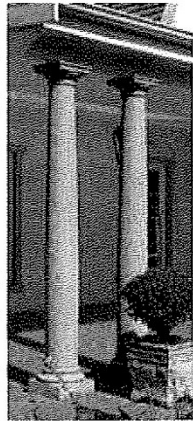
Please order overall height including Cap and Base. Cap, Shaft and Base supplied loose.

				
Name	TYPE 1210 (Round)	TYPE 119 (Round)	TYPE 97 (Round)	TYPE 86 (Round)
Shaft Base Diameter	320mm	280mm	240mm	205mm
Shaft Neck Diameter	260mm	235mm	190mm	150mm
Max Shaft Length	Shaft Max 3000mm (Min 1100mm) Add cap/base for max overall height.	Shaft Max 3150mm (Min 1100mm) Add cap/base for max overall height.	Shaft Max 2700mm (Min 1100mm) Add cap/base for max overall height.	Shaft Max 1980 (Min 1000) Add cap/base for max overall height.
Weight Kg/m approx	205kg/m	155kg/m	115kg/m	75kg/m (no downpipe)
Weight Hollow FRC	55kg/m (non structural)	40kg/m (non structural)	35kg/m (non structural)	25kg/m (non structural)



Columns - Plain Round No Taper

Please order overall height including cap and base. Cap, Shaft and Base supplied loose.



Name	TYPE 320 PLAIN (Round) No taper	TYPE 280 PLAIN (Round) No taper	TYPE 230 PLAIN (Round) No taper	TYPE 150 PLAIN (Round)
Shaft Base Diameter	320mm	280mm	230mm	150mm
Shaft Neck Diameter	320mm	280mm	230mm	150mm
Max Shaft Length	Shaft Max 2500mm Add cap/base for max overall height.	Shaft Max 3000mm Add cap/base for max overall height.	Shaft Max 3000mm Add cap/base for max overall height.	Shaft Max 2100mm Add cap/base for max overall height.
Weight Kg/m approx	195kg/m	150kg/m	100kg/m	45kg/m
Weight Hollow FRC	50kg/m (non structural)	40kg/m (non structural)	30kg/m (non structural)	na

